

RESOLUTION NO. 56-87

ADOPTING THE ALHAMBRA HILLS SPECIFIC PLAN

WHEREAS, the Final EIR for the proposed Alhambra Hills Specific Plan was certified as adequate by the Planning Commission of the City of Martinez on April 29, 1986 and the certification of the EIR was upheld on appeal by the City Council of the City of Martinez on June 4, 1986; and

WHEREAS, the Planning Commission of the City of Martinez held public hearings on the Draft Alhambra Hills Specific Plan; and

WHEREAS, the Planning Commission recommended Council approval of the Plan on February 10, 1987; and

WHEREAS, the City Council held a public hearing on March 18, 1987; and

WHEREAS, the City Council reviewed and considered the Final EIR and addenda in adopting the Specific Plan; and

WHEREAS, the City Council finds that the Final EIR and addenda together are adequate and in compliance with CEQA; and

WHEREAS, the current Alhambra Hills Specific Area Plan includes a larger area than the new Alhambra Hills Specific Plan.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Martinez that:

- A. The Alhambra Hills Specific Plan as shown on Exhibit A is adopted; and
- B. The written findings (recommended by the Planning Commission Exhibit B) required by CEQA to approve a project are adopted.
- C. Properties within the 1973 Alhambra Hills Specific Plan Area and not within the new Specific Plan Area shall remain within the jurisdiction of the 1973 Alhambra Hills Plan.

* * * * *

I HEREBY CERTIFY that the foregoing is a true and correct copy of a resolution duly adopted by the City Council of the City of Martinez at a regular meeting of said Council held on the 6th day of May, 1987. by the following vote:

AYES: Councilmembers Hernandez, Langley, Pollacek, Vice Mayor Radke and Mayor Menesini.

NOES: None.

ABSENT: None.

GUS S. KRAMER
City Clerk

By: Sherry M. Kelly
Sherry M. Kelly
Deputy City Clerk

nb:57

RESOLUTION NO. 17-89

AMENDING THE GENERAL PLAN
AND ALHAMBRA HILLS SPECIFIC PLAN
RELATING TO OVER 30% SLOPE
AND CRITERIA FOR DENSITY RANGES

WHEREAS, the Planning Commission, after a duly noticed public hearing on January 24, 1989, recommended by a 5-0-1 vote that the City Council adopt the proposed amendment; and

WHEREAS, the City Council held a duly noticed public hearing on February 1, 1989 at which all interested parties were given the opportunity to speak.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Martinez that:

1. The attached Negative Declaration is hereby adopted.
2. The general plan is amended as shown in Exhibit A attached.
3. Alhambra Hills Specific Plan is amended as shown in Exhibit B attached.

* * * * *

I HEREBY CERTIFY that the foregoing is a true and correct copy of a resolution duly adopted by the City Council of the City of Martinez at a regular meeting of said Council held on the 1st day of February, 1989, by the following vote:

AYES: Councilmembers McDowell, Radke, Smith, Vice Mayor Hernandez and Mayor Menesini.

NOES: None.

ABSENT: None.

GUS S. KRAMER
City Clerk

By: Sherry M. Kelly
Sherry M. Kelly
Deputy City Clerk

EXHIBIT A

1. Amend Section 22.51 of the Martinez General Plan to read as follows:

22.51 Hill areas greater than 30% slope shall not be developed, except as set forth in A & B below, and except on an existing lot of record where only one single family house is proposed and there is no building site under 30% slope. In such cases, development shall only be allowed if it can be demonstrated that significant alteration of the topography will be minimized and that hazards to public safety will not be incurred. This prohibition will protect public safety and soils, safeguard watershed areas and waterways, and preserve the natural scenic setting of the community as determined by its landforms. This policy shall be applied as part of all specific area plans, area plans, and/or specific plans adopted as part of, or pursuant to, this general plan, and need not be restated or repeated in such plans.

- A. Where no alternative exists, roads connecting development area may pass over areas of over 30% slope, subject to approval by the Planning Commission. Grading shall be limited to that necessary for the road or the minimum amount which will create the most natural appearing contours. If such grading creates buildable areas, residential development fronting the road may be permitted subject to approval by the Planning Commission.

- B. Small areas of 30% and over slope entirely surrounded by areas under 30% slope may be developed. Small infringements on areas of over 30% slope may be permitted where the existing topography of the majority of the building area and area to be graded are under 30% slope.

2. Amend Section 24.222 of the Martinez General Plan to read as follows:

24.222 All slopes which are over 30% in grade shall be precluded from development except as stated in Section 22.51.

EXHIBIT B

Amend Section 31.321 A, B, C, and D to read as follows:

- A. Soil Stability/Grading - Development density may be reduced below the density range specified in this section on sites requiring major geologic reconstruction work or requiring major grading to insure safe development.
- B. Visual Impacts - Density may be reduced below the density range specified in this section on sites where significant visual impacts will result or where extensive grading would be required to mitigate visual impacts.
- C. Tree Preservation/Landscaping - Proposals which preserve significant numbers of existing trees within the developed area may qualify for density at the upper end of the density range. Extensive planting of mature, native landscaping may to a limited degree compensate for removal of existing vegetation.
- D. Residential Design and Materials - Site plans designed to fit the topography and well designed structures may allow density at the upper end of the density range.
- E. Other Factors - Other factors specific to a project being reviewed, such as access, traffic impacts, impacts on nearby neighborhoods and the City, degree of compliance with general and specific plan policies, etc. may result in lower density than the density range specified in this section.

TABLE OF CONTENTS

Alhambra Hills Specific Plan and Land Use and Circulation Map

Appendix AFinal Environmental Impact Report

Appendix BGrading Concepts

Appendix CImplementation Plan

Appendix DResolution No. 56-87
CEQA Findings

ALHAMBRA HILLS SPECIFIC PLAN

PLAN AREA

The Specific Plan Area is shown in Fig. 31.30.

31.3 POLICIES

31.31 LAND USE

F 31.31 Development Areas, remote homesites and land use designations are shown on Fig. 31.30. The Development Area shall consist of all Plan areas under 30% slope which shall be considered developable unless site constraints prevent development of that particular area (see Policies 31.321 and 31.322).

31.311 Development in the Plan Area shall be limited to single family residential use, except that professional offices may be allowed by Use Permit in the Development Areas adjoining the west side of Alhambra Avenue if the parcels meet the following criteria:

- A. Site depth is inadequate to buffer residential development from Alhambra Avenue noise.
- B. Office traffic would not significantly affect nearby existing uses or traffic on Alhambra Avenue.
- C. Office use of the site would be compatible with adjoining uses.

31.312 Development and grading shall comply with Site Development criteria (Section 31.34), and shall be limited to the Development Area except under the following circumstances:

- A. Development of designated Remote Homesites;
- B. Access roads and residences as allowed by Policy 31.314;

The overall number of units permitted on a property shall under no circumstances be increased.

31.313 No development on areas of 30% or greater slope shall be permitted except:

- A. Where no alternative exists, roads connecting Development Areas may pass over areas of 30% slope, subject to approval by the Planning Commission. Grading shall be limited to that necessary for the road or to the minimum amount which will create the most natural appearing contours. If such grading creates buildable areas (under 30% slope) residential development fronting the road may be permitted subject to approval by the Planning Commission.

B. Small areas (10,000 sq. ft. or less) of 30% and over slope entirely surrounded by areas under 30% slope may be developed. Small infringements on areas of 30% slope may be permitted where the existing topography of the majority of the building area and area to be graded are under 30% slope.

31.314 Development outside of the Development Areas (homesites and access roads) shall comply with the following criteria:

- A. Soils stability shall be demonstrated prior to development approvals;
- B. Minimal visual impact shall result from development;
- C. Minimal grading or vegetation removal shall be required;
- D. Compliance with Site Development Policies (Section 31.34).

31.32 DEVELOPMENT DENSITY

31.321 The Alhambra Hills plateau including the Habitat property shall be rezoned R-10. Slope Density shall be applied to each parcel to determine the maximum number of units permitted on the site. In no case shall the number of units permitted exceed the maximum unit counts established below. The range listed below is the number of units which may be approved for proposals in minimal conformance with Specific Plan criteria up to the maximum permitted for exceptional projects. These numbers are based on slope density calculations performed on the upper portions of the sites and do not include possible development on the lower fringe of the hills, except for the Habitat unit count which is based on a slope density calculation for the entire site.

L & M - Habitat (parcels 164-150-021, 022) *	76-90 units
H, J & K - Waters Inc. (parcels 164-150-016, 164-010-002 and 019)	77-84 units
D & E - Trebino (parcels 366-010-006 and 366-060-001)	94-99 units
N - Kinney (parcel 164-010-007)	12-14 units
Q - Monteros (parcel 164-010-017)	22-26 units
C - Lawrence (parcel 366-102-020)	3-4 <u>units</u>
TOTAL	284-315 units

* See map for property locations.

These unit counts are the maximums permitted for each property. If it is determined that a Development Area is actually larger than shown on the Land Use Map (Fig. 31.30) no additional units shall be added to the maximums listed above. It is not guaranteed that either the high or the low unit counts will be approved for any particular site. Each development proposal will be judged

on its merits and must demonstrate that the requested proposal and number of units are in compliance with all Specific Plan policies. Geotechnical, access, grading and visual constraints (among other criteria listed in this Specific Plan), and final Slope Density calculations for the site may reduce the number of units approved for any particular site from the range listed above and may limit the portion of the site that may be developed. Approval of the maximum permitted number of units on a site will require an exceptional project exceeding the development and design criteria of this plan. The following criteria shall be used to determine the appropriate density for individual development proposals.

- A. Soil Stability/Grading - Development density shall be limited to the lower portion of the density range on sites requiring major geologic reconstruction work or requiring major grading to insure safe development.
- B. Visual Impacts - Density shall be limited to the lower portion of the density range on sites where significant visual impacts will result or where extensive grading would be required to mitigate visual impacts.
- C. Tree Preservation/Landscaping - Proposals which preserve significant numbers of existing trees within the developed area shall qualify for higher density. Extensive planting of mature, native landscaping may to a limited degree compensate for removal of existing vegetation.
- D. Residential Design and Materials - site plans designed to fit the topography and well designed structures with higher quality materials may allow higher density.

31.322 A preliminary soils report on each parcel shall be prepared and reviewed by the City's geotechnical consultant as part of each application for project approval by the Planning Commission. Soils report findings may affect project layout, density and total unit count.

31.323 Project densities shall not exceed, and housing type shall be compatible with, nearby existing development.

31.324 Compliance with Site Development and Building Design policies shall be considered in determining final project densities (see Sections 31.34 and 31.35 for policies).

31.325 Reliez Valley Road densities shall vary from .5 to 1.5 units per Developable Area acre and shall not exceed the density of nearby existing development.

31.326 Densities along Alhambra Avenue shall vary from 3 to 5 units/per Developable Area acre and shall not exceed the density of existing development.

31.327 Remote homesites shall have a minimum 1 Ac lot size, with the building area consisting of existing topography of at least 10,000 sq. ft. under 30% slope.

31.33 . CIRCULATION

The Circulation Plan for the Alhambra Hills is shown in Figure 31.30.

31.331 Access to the plateau shall be provided by public streets dedicated to the City connecting Wildcroft Drive and Horizon Drive (from its current terminus at A.P.164-150-029). A turnaround bulb shall be constructed near the existing end of Horizon Drive and at the lower end of the street from the plateau. These turnaround bulbs shall be connected by a 28 ft. wide two-way street with a stop sign at the lower turnaround bulb. The intent of this design is to limit the amount of traffic using Horizon Drive. If it is determined that these measures do not sufficiently limit traffic, the City Council may further limit the use of the 28 ft. street connecting the turnaround bulbs to one-way traffic or emergency use only. Streets shall conform to the design shown in Fig. 31.30. Emergency access roads shall be provided with development of properties farther than 600 ft. or 16 lots from the Wildcroft/Horizon connection. Recommended locations are at the north end of the plateau, at the east end of the Monteros development, and at the southeastern section of the Habitat development; see Figure 31.30.

31.332 Innovative grading techniques as discussed in the EIR Road Alignment Geotechnical Addendum (pgs. 4, 5, 8) shall be required for the construction of Wildcroft Drive and, if required by the Planning Commission, for other access and plateau roads. Mitigation measures required by the EIR on pages E-52, 53 and J-13, 14 shall also be required for all road construction.

31.333 Site planning of projects shall allow through access to other parcels as required.

31.334 Private roads for up to five residences shall be permitted for remote homesites and for parcels within the Development Areas where significant grading reductions result.

31.335 Direct access to Alhambra Avenue and Reliez Valley Road shall be minimized. Where possible, streets or driveways shall be shared by adjoining development.

31.336 Off-site street and intersection improvements listed as mitigation measures on pages E-50 - 52 of the EIR, and on pages 24 - 25 of the Traffic Study prepared by the Goodrich Group, shall be required with timing of installation to be determined by the City Engineer, except for off-site cumulative impact mitigation measures, which shall be funded by mitigation fees. On-site streets shall be constructed to standards listed in the EIR on pages E - 52, 53.

31.337 Costs for improvements within the Alhambra Hills which benefit more than one property in the Plan Area shall be distributed among the benefited parties within the Plan Area. Costs for improvements outside the Plan Area shall be covered by mitigation fees. The method of calculating and distributing costs shall be approved by City staff prior to issuance of any building or grading permits or approval of any subdivision Final Map. The City staff decision may be appealed to the Planning Commission by any property owner subject to cost allocation under this section. A fee-benefit area may be established by the City Council to implement this section.

31.338 No development shall be permitted on the plateau or the Habitat site (excepting Reliez Valley Road remote site prior to completion of Wildcroft Drive to the development site. No construction equipment shall be allowed to use Horizon Drive.

31.34 SITE DEVELOPMENT

31.341 Planned Unit Developments which implement the design review criteria shall be required for all plateau sites and other sites averaging over 10% slope.

31.342 Site plans shall minimize the visual impacts of development where possible while maintaining the natural topography. Repair of slides, and other soil stability hazards shall be required for the protection of public safety and shall be reconstructed with a natural appearance.

31.343 Grading for the sole purpose of creating Development Area or buildable lots shall not be permitted (e.g. substantial cutting or filling of slopes over 30% to create lots shall not be permitted).

31.344 Grading shall comply with the following policies except as provided in Section 31.345 below.

- A. Street Grading - Sites shall be planned to preserve the natural topography. Street grading shall be limited to that amount necessary for safety and to achieve natural appearing finished contours.
- B. Lot Grading - Grading of individual lots with existing slope over 20% shall be limited to driveways and within the house foundation. Grading of lots under 20% slope shall resemble natural contours.
- C. If corrective grading outside these limits is necessary for geotechnical safety reasons, the finished grading shall closely resemble the pre-existing natural appearance of the topography.

All mitigation measures for grading alternative 1b (pages 3 - 8) in the Rogers/Pacific Grading Concepts Addendum shall be required for grading under this policy.

31.345 First priority shall be given to siting streets, residences and public facilities to avoid geologic hazards and instabilities, prevent the creation of drainage hazards which would threaten slope stability and to minimize visual impacts of plateau development. Where serious geologic or drainage conditions which threaten public safety, or where significant visual impacts which would result from development cannot be mitigated by locating development away from the hazards or by grading in compliance with Policies 31.342 and 31.343, additional grading may be permitted subject to approval by the Planning Commission after evaluating the proposed grading for compliance with the following requirements:

- A. The safety hazards or visual impacts cannot be mitigated by relocating development or by grading in compliance with Policies 31.342 and 31.343; and

- B. More extensive grading is required because of geotechnical constraints. Such constraints shall be defined as known unstable soils (Martinez formation) or areas of proven geologic failure (as shown by a soils report); and
- C. More extensive grading is required to mitigate significant visual impacts of residences around the periphery of the plateau. Areas of significant visual impacts shall be determined by review of Scenic Roads and Residential Neighborhoods Visual Sensitivity Maps and the Vegetation Map (maps prepared by Goodhue, Haisley and Barker, September 20, 1982). More extensive grading shall be permitted in those areas shown as: 1) Visually Sensitive, and 2) shown as not being screened from view by existing vegetation; i.e. if a Visually Sensitive Area is screened from view by existing vegetation more extensive grading in order to screen the view of residences shall not be permitted.
- D. More extensive grading of the site to eliminate safety hazards or to eliminate visual impacts will not create other unmitigable impacts. In other words, finished grading must have a natural appearance; "table topping" or "stair stepping" hillsides must be minimized.

In all cases it shall be the responsibility of the applicant to provide factual evidence supporting these findings. "Public safety" shall include private homes and roads, as well as all public facilities (streets, trails, utilities, etc.). The level of grading approved for each portion of a site or development area shall be consistent with the specific geotechnical conditions and visual impact constraints in that portion of the site.

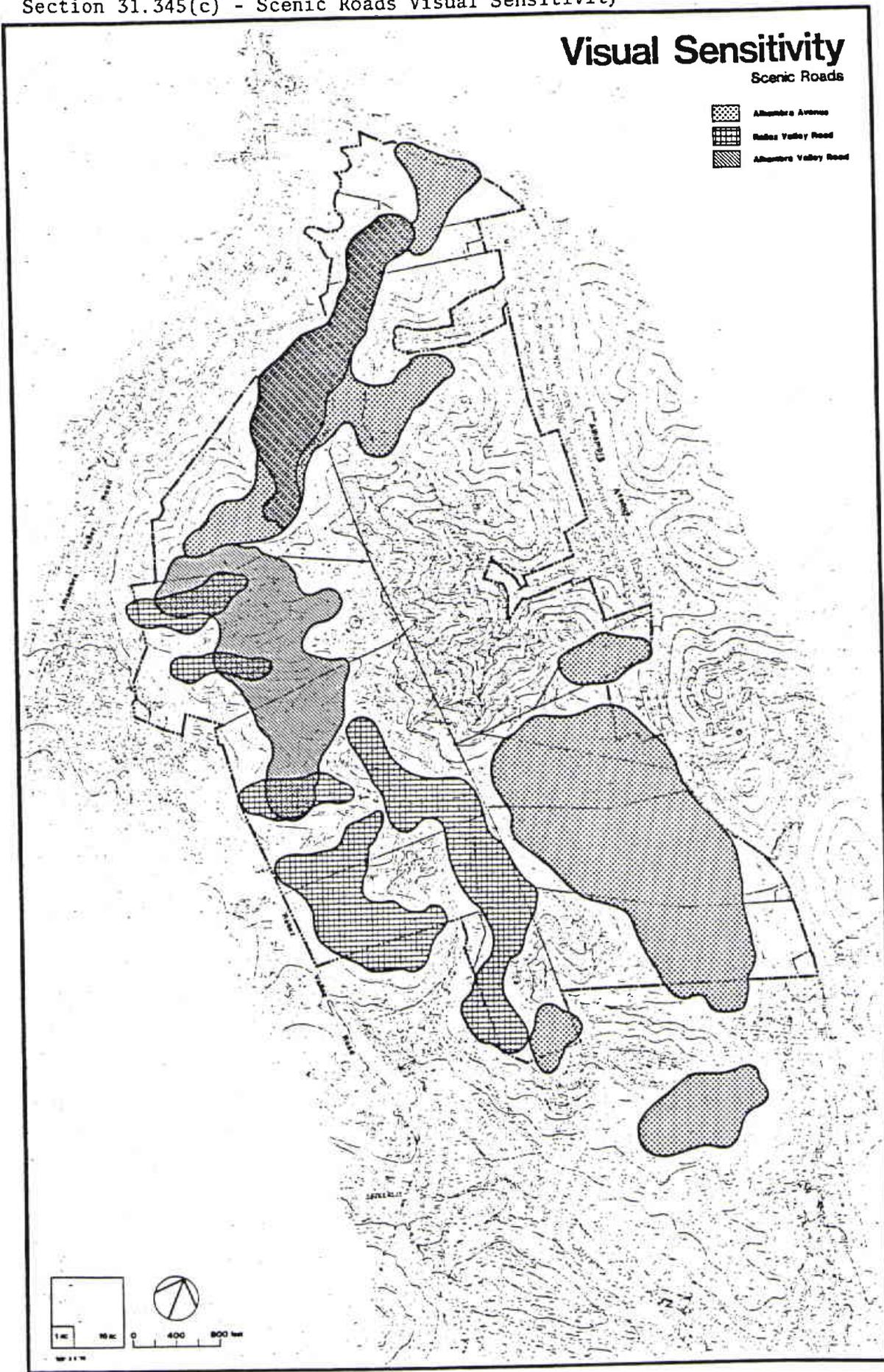
31.346 In those instances where additional grading is approved for geotechnical reasons site grading shall comply with the following policies:

- A. Street Grading - Street grading shall be limited to that amount necessary for roads and to achieve front yard areas and driveways which drain toward the street.
- B. Lot Grading - All lot grading shall be limited to achieving front yard areas and driveways which drain toward the street. The remainder of the lot shall have natural appearing contours.

All mitigation measures for grading Alternative 2 (pages 3 - 8) in the Rogers/Pacific Grading Concepts Addendum shall be required for grading under this policy.

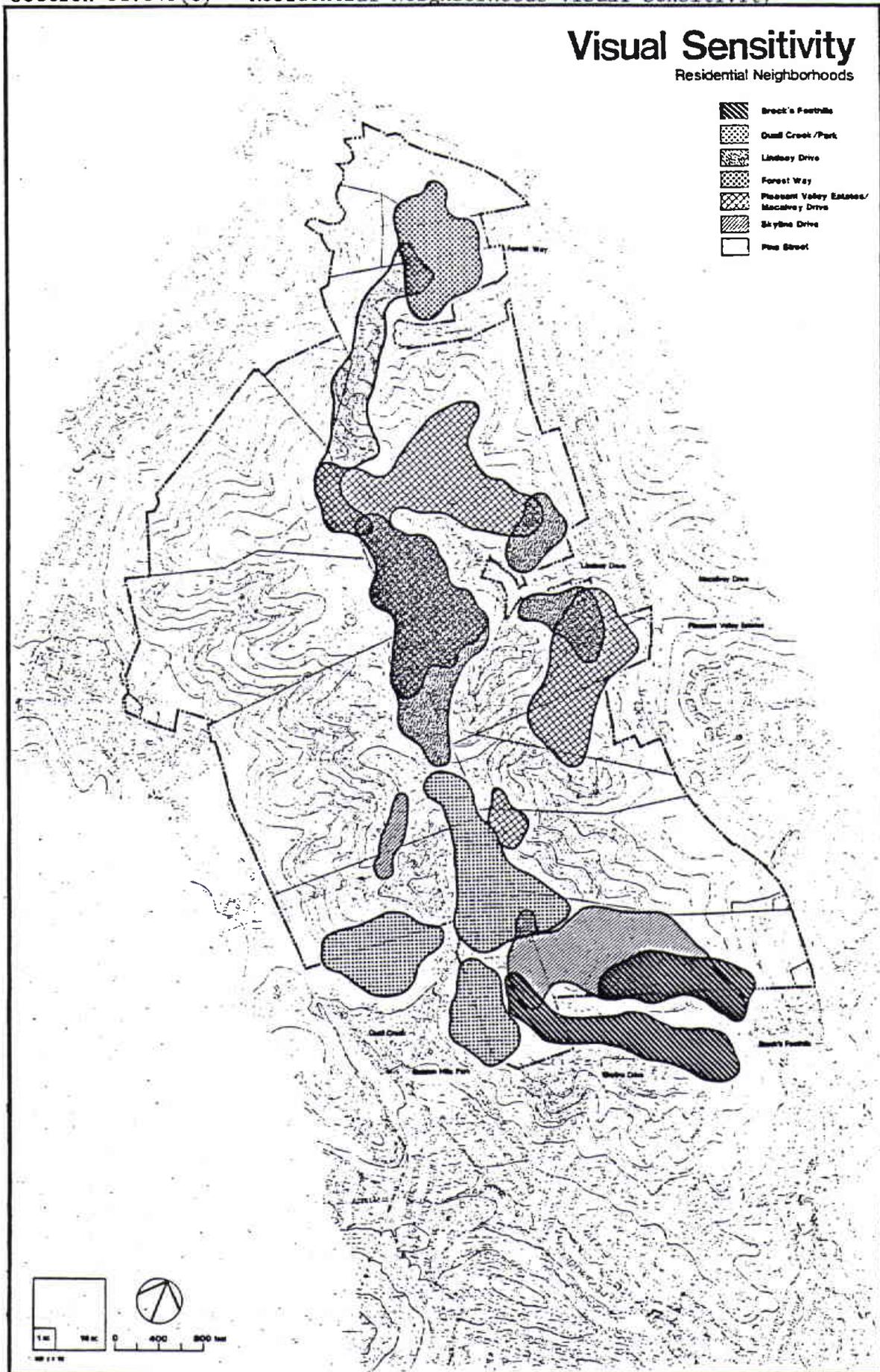
In situations of serious geologic hazard and in limited areas where significant visual impacts would result without more extensive grading, grading in compliance with the following policies may be permitted.

- C. Street Grading - Expanded street grading shall be allowed to recontour slopes and create large flat pad lots.



Alhambra Hills Specific Plan - Martinez, California

Prepared by Hill Goodhus Halsey and Barber 100 Stevenson St. San Francisco CA 94106 415/843-1212 550 Hartnell St. Monterey CA 93940 408/375-8594



D - Lot Grading - Grading of individual lots shall be allowed to create large flat pad lots draining toward the street. The periphery of the developed area shall be tapered and rounded into the existing contours.

Mitigation measures for Rogers/Pacific Alternative 3 (pages 3 - 8) shall be required for grading under this policy.

31.347 Up to 20% of the lots may meet R-7.5 Zoning Code requirements. All other lots shall conform with R-10 minimum requirements. Overall density shall average at least 10,000 sq. ft. of Development Area per residence.

31.348 Sites shall be planned to preserve open space, existing vegetation (especially on ridgelines) and knoll tops as much as possible. Sites along Alhambra Creek shall provide an open space buffer along the creek as required by the EIR.

31.349 Site layout and grading shall provide continuity of design between parcels.

31.35 BUILDING DESIGN

31.351 Building design and materials shall be compatible with and better than nearby existing development.

31.352 Structures shall be designed to blend into, rather than dominate, the natural setting.

31.353 Buildings shall be sited and designed to fit the natural topography and preserve existing vegetation as much as possible.

31.354 Buildings which can be viewed from below shall be sited, designed and landscaped so that supporting columns, piers and building undersides are not visually dominant.

31.355 Buildings on hillsides shall step down to follow the topography.

31.356 Natural appearing colors and building materials shall be required. Visually obtrusive/reflective colors and materials shall be prohibited.

31.357 Buildings shall be designed to meet all Fire District requirements (roof materials, alarms, sprinklers, etc.).

31.36 OFFICE DESIGN

31.361 Office development shall be of a residential scale and appearance. Building site coverage shall not exceed the coverage allowed in the nearest residential district.

31.362 Parking shall be located primarily away from the street, behind the building. When the property adjoins a residential area the parking shall also be located away from the residential area or shall be screened with extensive landscaping.

31.363 Building Design guidelines (Section 31.35) shall apply to office, as well as residential, buildings.

31.364 Office buildings shall be primarily one story structures and shall have varied facades to provide architectural interest.

31.365 Landscaping shall be used to screen offices and parking, and to provide transitions to neighboring residential areas and Open Space areas. Extensive landscaped areas shall be provided to attain a campus setting.

31.37 LANDSCAPING, FENCING AND LIGHTING

31.371 The character of the natural setting shall be enhanced with natural landscape designs emphasizing native species and retaining existing vegetation.

31.372 Visually significant man-made improvements along the periphery of plateau or hilltop development areas should be landscaped to blend into the natural setting. Yard improvements and solid fencing which extend into the periphery area shall be prohibited by scenic easement.

31.373 An overall natural landscape theme for the major access road should be provided to unify the development areas.

31.374 Fencing which would be visible from outside the development areas shall be non-obscure and natural in appearance. A wood frame open wire fence is recommended.

31.375 Exterior lighting shall be compatible with and sensitive to surrounding uses and the natural setting. Necessary lighting shall be situated as much as possible in the interior portion of visually sensitive development areas.

31.38 OPEN SPACE/TRAILS

31.381 Open Space areas shall be privately owned and maintained. Maintenance of such areas shall be by homeowners association rather than individuals.

31.382 Animal grazing may be permitted in Open Space areas as a fire prevention measure. Grazing shall be limited in location and intensity to prevent erosion. Grazing plans shall be prepared and reviewed by an outside consultant to ensure that overgrazing and/or erosion does not result.

31.383 Public trail easements shall link the plateau area to surrounding development and the general plan riding and hiking trail system. Minimum connections shall include the California Riding and Hiking Trail to the east near MacAlvey Drive, Briones Regional Park, Golden Hills, the Foothills area and John Swett School. Recommended linkages are shown in Figure 31.30. Trails shall be constructed by the developer when the City or other public agency will accept maintenance responsibility for the trail.

31.384 As development occurs along Alhambra Avenue and Reliez Valley Road, bikeways shall be constructed along these streets. Bikeways shall also be

provided along major access roads to be constructed including Horizon Drive, Wildcroft Drive and the ridge road. Bus turnouts along Alhambra Avenue as discussed in the EIR (page E-53) shall be required.

31.385 Sound barriers shall also be provided along major roads where needed (see Noise Element). Sound Barriers shall be designed to fit into the surrounding visual environment; large masonry walls are discouraged.

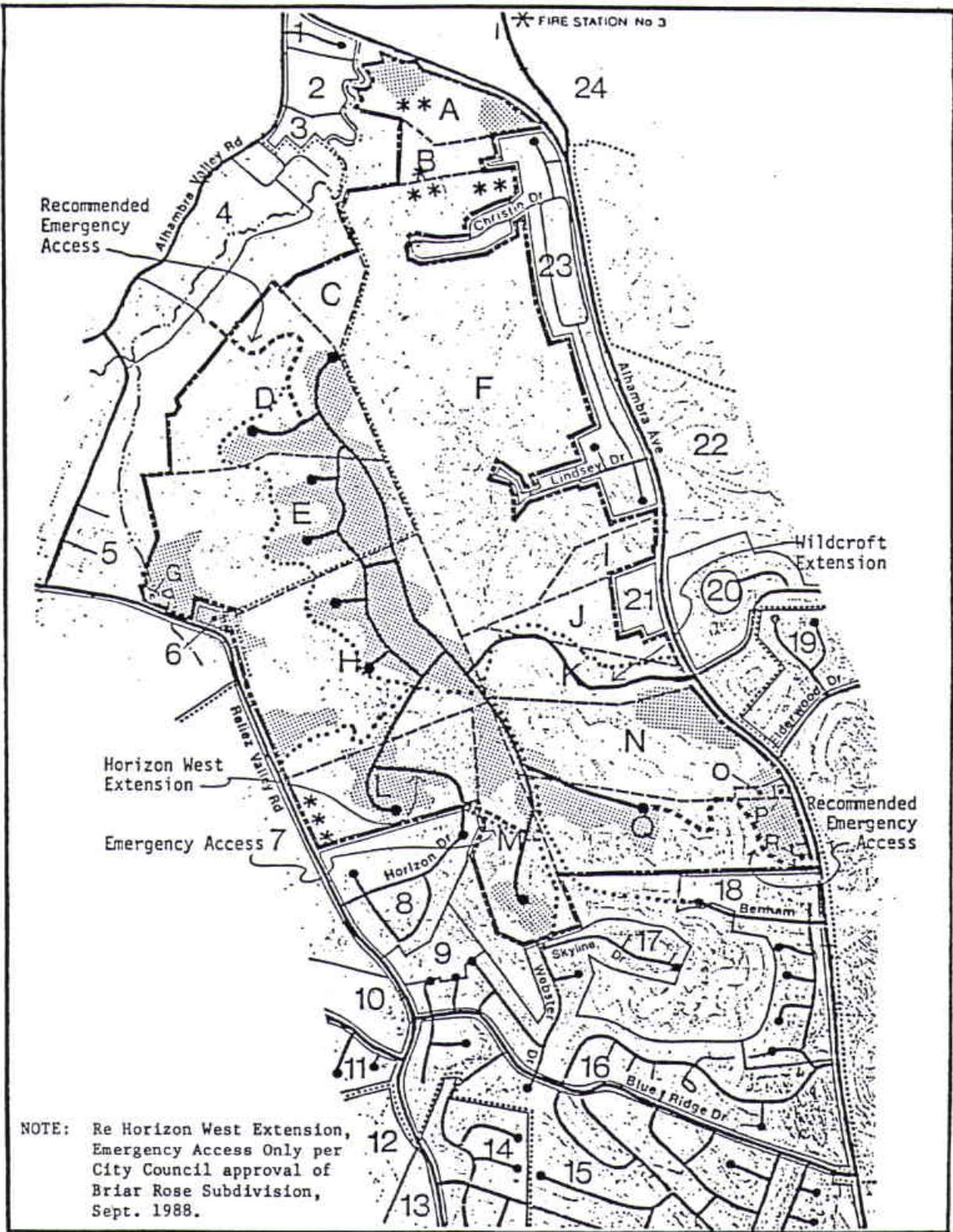
31.39 MITIGATION MEASURES

31.391 Mitigation measures for significant environmental impacts identified by the EIR and addenda are hereby required and incorporated into this policy plan. Mitigation measures shall be amended or eliminated as necessary to address plan modifications (e.g. Elderwood extension mitigations shall be amended or eliminated as necessary to address Wildcroft extension impacts.).

31.40 IMPLEMENTATION

31.401 Alhambra Hills Specific Plan IMPLEMENTATION ELEMENT, Section C, pages 13-29 are hereby required and incorporated into this policy plan. Implementation measures shall be amended or eliminated as necessary to address plan modifications.

wb:nb.270
4-24-87



LEGEND

- Planning Area Boundary
- Martinez City Limits
- Primary Access Roads
- Emergency Egress
- Conceptual Nature Trail
- ▨ Development Area
- * Remote Homesites

Land Use and Circulation Figure 31.30
ALHAMBRA HILLS SPECIFIC PLAN

