



City of Martinez

525 Henrietta Street, Martinez, CA 94553-2394

February 16, 2006

To: St. Mary's Street Property Owners

Subject: Development of Existing Vacant Lots on St. Mary's Street.

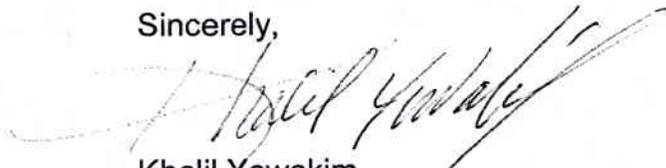
Dear Property Owner(s)

The City has been approached by group of owners and developers who are interested in developing existing vacant lots on St. Mary's Street. As you may be aware that on May 17, 1978, the City council adopted a resolution, Resolution Number 61-78, setting conditions that must be complied with prior to issuing building permits for particular lots. A copy of this resolution is available at the City Engineers office.

On December 14, 2005, City staff with the City's geotechnical consultant met with the group to discuss the intent of the resolution and approaches to comply with the Council resolution in order to built on the vacant lots. It was concluded at the meeting that the best approach is to stabilize the soil by re-grading the entire slope (on all or most of the lots, rather than grading a single lot at a time), construct the necessary drainage improvements and obtaining all required drainage and sanitary sewer easements to serve the lots. This approach will require the cooperation of the affected lot owners. City staff encourages such cooperation between owners to resolve the soil stabilization issue.

Please contact Tom Ronchitto at 925-743-1267 for coordination. If you have any question, please call me at 925-372-3569.

Sincerely,


Khalil Yowakim,
Associate Civil Engineer

RESOLUTION NO. 031-12

AUTHORIZE THE BUILDING OFFICIAL TO ISSUE BUILDING PERMITS FOR LOTS 73 AND 74 OF TRACT 2226 ONCE ALL APPROVALS AND REVIEWS HAVE BEEN SUCCESSFULLY COMPLETED

WHEREAS, on June 24th, 1955 the City Council of the City of Martinez approved Tract Map 2226, Montecito Park - Unit No. 3.; and

WHEREAS, shortly after the construction of the subdivision road, an extension of St. Mary's Street, the street suffered significant failure due to poor construction and significant rain; and

WHEREAS, with the use of State flood disaster money the City of Martinez realigned and reconstructed a portion of St. Mary's Street in 1958; and

WHEREAS, on May 17, 1978 the City Council adopted resolution 61-78 establishing conditions under which building permits for houses would be issued along St. Mary's Street and Canyon Way; and

WHEREAS, said resolution was adopted in part because of continued land instability along portions of St. Mary's Street and adjoining lots; and

WHEREAS, said resolution was adopted in part because of lack of reconstruction compaction testing records; and

WHEREAS, a complete geotechnical investigation report, and a supplemental recommendations and geotechnical update has been provided to the City for lots said lots 73 and 74 and deemed adequate through a City peer review process; and

WHEREAS, said reports concluded that no mass grading work is required to stabilize the slope and the proposed homes on said lots 73 and 74 will be built on deep pier foundation; and

WHEREAS, said reports provided recommendations and design parameters required for this project; and

WHEREAS, in accordance with Resolution 61-78 and standard engineering practices for the design of hillside lots, grading drainage and foundations shall be designed to the approval of the projects soil engineer and subject to City approval.

031-12
lot 3

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Martinez that the City Council hereby finds, based upon substantial evidence as set forth in the staff report, which is hereby incorporated by reference, that the conditions set forth in Resolution 61-78 have been, or by the conditions listed in Attachment "A", set forth in this resolution, will be met and that the Building Official is authorized to issue building permits on lots 73 and 74 of Tract 2226, St. Mary's Street, subject to the attached conditions.

* * * * *

I HEREBY CERTIFY that the foregoing is a true and correct copy of a resolution duly adopted by the City Council of the City of Martinez at a Regular Meeting of said Council held on the 4th day of April, 2012, by the following vote:

AYES: Councilmembers Lara DeLaney, Janet Kennedy, Michael Menesini, Vice Mayor Mark Ross, and Mayor Rob Schroder

NOES: None

ABSENT: None


RICHARD G. HERNANDEZ, CITY CLERK
CITY OF MARTINEZ

031-12
203

Resolution Attachment "A"

Conditions of Approval

1. Authorization of building permit for lots issuance is subject to Design Review Commission approval and compliance with CEQA; and
2. Authorization of building permit issuance is subject to the property owner executing and recording a hold harmless document in accordance with Resolution 61-78 in a form approved by the City Attorney.

RESOLUTION NO. 005-08

AUTHORIZE THE BUILDING OFFICIAL TO ISSUE BUILDING PERMITS FOR LOTS 69 THROUGH 72 OF TRACT 2226 ONCE ALL APPROVALS AND REVIEWS HAVE BEEN SUCCESSFULLY COMPLETED

WHEREAS, on June 24th, 1955 the City Council of the City of Martinez approved Tract Map 2226, Montecito Park - Unit No. 3.; and

WHEREAS, shortly after the construction of the subdivision road, an extension of St. Mary's Street, the street suffered significant failure due to poor construction and significant rain; and

WHEREAS, with the use of State flood disaster money the City of Martinez realigned and reconstructed a portion of St. Mary's Street in 1958; and

WHEREAS, lots 69 through 72 of said Tract 2226 were part of and adjacent of the reconstruction work; and

WHEREAS, on May 17, 1978 the City Council adopted resolution 61-78 establishing conditions under which building permits for houses would be issued along St. Mary's Street and Canyon Way; and

WHEREAS, said resolution was adopted in part because of continued land instability along portions of St. Mary's Street and adjoining lots; and

WHEREAS, said resolution was adopted in part because of lack of reconstruction compaction testing records; and

WHEREAS, a complete soils and geologic report has been provided to the City for lots said lots 69 through 72 and deemed adequate through a City peer review process; and

WHEREAS, said report concluded no restorative work is required for said lots 69 through 72; and

WHEREAS, said report concluded complete and reconstruction of filled areas, including construction of fill keys, subdrainage, recompaction or buttressing not appropriate; and

WHEREAS, in accordance with Resolution 61-78 and standard engineering practices for the design of hillside lots, grading drainage and foundations shall be designed to the approval of the projects soil engineer and subject to City approval.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Martinez that the Building Official is authorized to issue building permits on lots 69 through 72 for Tract 2226, St. Mary's Street, once all approvals and reviews have been successfully completed.

BE IT FURTHER RESOLVED authorization of said building permit issuance is subject to Design Review Commission approval and compliance with CEQA; and

BE IT FURTHER RESOLVED authorization of said building permit issuance is subject to the property owner executing and recording a hold harmless document in accordance with Resolution 61-78 in a form approved by the City Attorney.

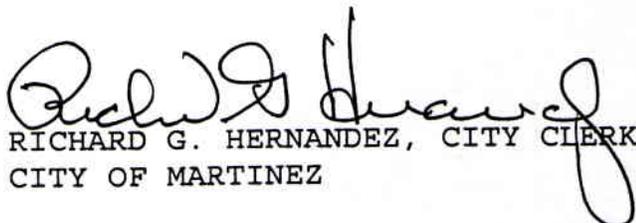
* * * * *

I HEREBY CERTIFY that the foregoing is a true and correct copy of a resolution duly adopted by the City Council of the City of Martinez at a Regular Meeting of said Council held on the 20th day of February, 2008, by the following vote:

AYES: Councilmembers Lara DeLaney, Janet Kennedy, Michael Menesni, Vice Mayor Mary Ross, and Mayor Rob Schroder

NOES: None

ABSENT: None


RICHARD G. HERNANDEZ, CITY CLERK
CITY OF MARTINEZ

2/2

RESOLUTION NO. 61-78

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MARTINEZ
ESTABLISHING CONDITIONS UNDER WHICH BUILDING PERMITS WOULD
BE ISSUED FOR HOUSES ON LOTS #47-56, TRACT 2146, LOTS #62-64
AND 69-74, TRACT 2226, AND PARCELS "A - D, 39 LSM 2"
MARTINEZ, CALIFORNIA

WHEREAS, in 1973 the City Council, after due consideration, established a policy which required the posting of an absolute guarantee of safety of the building, prior to the issuance of a building permit; and

WHEREAS, the City Council has considered requests to delete properties from the area requiring absolute guarantees of safety or, alternatively, to modify the policy under which building permits are issued; and

WHEREAS, it has been determined that such deletions or policy modifications would constitute 'projects', as defined by CEQA: and,

WHEREAS, a draft Environmental Impact Report has been prepared by the City Planning Department; and, the City Planning Commission, in its capacity as hearing body for City EIR's did hold a public hearing on the draft EIR on December 6, 1977, at which time those persons wishing to speak to the EIR were afforded the opportunity and, after hearing all persons who wished to speak, closed the hearing; and,

WHEREAS, the City Planning Department did prepare written responses to oral and written comments on the draft EIR, which comments and responses are contained in a report entitled "Addendum 'A', comments and responses to Comments on Draft EIR"; and, the City Planning Commission did review the Addendum to the DEIR at its meeting of December 20, 1977, and did find that the Addendum adequately responded to all comments raised, at the public hearing on the DEIR; and

WHEREAS, on December 20, 1977, the Martinez Planning Commission certified the draft Environmental Impact Report, together with the Addendum 'A' to the draft EIR, containing all comments and responses thereto, all as submitted by Staff, and Statements and Findings incorporated therein, and a certifying resolution as a Final Environmental Impact Report; and,

WHEREAS, in submitting the Final Environmental Impact Report and certifying Resolution to the City Council the Planning Commission recommended that a change be made in the policy pertaining to the issuance of building permits on the subject lots and, further, that caution be exercised in the implementation of any project which would result in the issuance of building permits for the subject sites.

NOW, THEREFORE, BE IT RESOLVED that the following conditions shall apply to the issuance of building permits on the subject lots:



A. Pertaining to Parcels 'A' through 'D', 39 LSM 2 and Lots 62-64, Tract 2226:

Finding: Parcels 'A' through 'D', 39 LSM 2, are located below the "upper slide area", and as such are in a substantially different geologic condition than the remainder of the subject lots. Lots 62-64 are above the slide area; it appears that they are sufficiently removed from the old inadequate fill area to be buildable with only normal geologic risks, under the following conditions:

Building permits may be issued for the subject sites upon satisfactory compliance with the following conditions. Such reports and plans as necessary to ascertain that conditions are being met shall be filed with and approved by the Building Official and assurances that installation and maintenance of facilities in accordance with these conditions shall be filed with the Building Official prior to the issuance of building permits for the sites.

1. **Grading:** Shall be kept to an absolute minimum. Cuts and fills shall be no steeper than 2 horizontal to 1 vertical. All finish grades shall slope at least 2% in such a manner that surface water does not run over bare slopes or collect against obstructions. All grading shall be done in accordance with the recommendations of a soils engineer and, following issuance of a soils engineering report on the proposed grading.
2. **Drainage:** It is anticipated that underdrainage will be required under fills and on the uphill side of obstructions. All underdrainage shall be installed in accordance with the recommendations of a soils engineers. Underdrains shall be flushed and otherwise maintained as necessary annually.

Roof, driveway and yard drainage shall be directed away from the house and away from the hillside area and collected and disposed of in a reasonable manner, consistent with recommendations of a soils engineer.

The slope area above the house locations shall be planted in native drought-tolerant landscape materials, and watered the minimum necessary to establish. Irrigation systems shall not be installed on this hillside area.

Slope drainage from the hillside above the homes shall be intercepted and directed to Canyon Way in well-maintained gutters, catch basins, and pipes, in accordance with recommendations of a soils engineer.

3. **Debris walls:** Debris walls shall be installed on the uphill side of any improvements, and in accordance with the recommendations of a soils engineer.
4. **Foundations:** Shall be required to be designed by a soils engineer.



5. Maintenance: Annual flushing and other maintenance as necessary of all subdrainage and ditches, catch basins and drainage pipes shall be required; a statement of compliance shall be required to be filed with the City Building Inspector by September 15 of each and every year.
6. Soils Engineering: A preliminary soils engineering report shall be prepared and reviewed by the City of all proposed grading, building, paving, drainage and landscaping of the site. All work covered in a soils report shall be required to be inspected by a soils engineer during its construction. A final report shall be required from the soils engineer verifying that all work was done under his supervision and in accordance with his recommendations.
7. Deed restrictions: A deed restriction shall be required to be placed and recorded on each parcel prior to issuance of the building permit for that parcel. The deed restriction should as a minimum reiterate Items #1 through #6 above.
8. A hold-harmless document shall be required to be prepared and recorded providing that the owners and successors in interest acknowledge in writing the soils condition of and above the site and hold the City harmless from any damage which might occur as a consequence of the issuance of a building permit, in a form to be approved by the City Attorney.

The Planning Commission found that development consistent with the preceding restrictions is consistent with the General Plan, in all its elements, would be safe from unreasonable geologic hazard, and would result in no significant environmental impacts.

B. Pertaining to Lots #54-56, Tract 2146 (St. Mary's Street):

Finding: Lots #54-56, Tract 2146 are within the 'lower slide repair' area repaired in 1958. As such, it appears that they are geologically substantially different from the remainder of the undeveloped lots along St. Mary's Street, and they should be handled differently. The existence of a slide at the toe of the repaired area, together with a lack of information about the current state of the underdrainage systems, cause the geologic condition of the existing sites to be considered as inappropriate for the construction of new homes.

The Building Official is directed not to issue building permits on the subject sites in their present condition.

These sites may be buildable with only normal geologic risks following corrective work and subject to the following conditions:

1. Toe slide: There is in existence a small slide at the toe of the repair area, apparently occurring in 1973. A soils engineering report shall be prepared, analyzing this slide and making recommendations for its proper and permanent repair.



2. Underdrainage: There is in existence a substantial underdrainage system, installed in 1958, which is apparently operating in some reduced fashion (judging by the toe slide); this entire underdrainage system shall be evaluated by a soils engineering report. It is anticipated that flushing and other work will be required to restore its full effectiveness.
3. A report and plan for restorative work shall be prepared by a soils engineer and submitted to the Building Official. This report and plan shall be evaluated by the Building Official and City Engineer and shall be submitted, with recommendations to the City Council for a determination of adequacy.
4. Restoration of the toe slide and functioning underdrainage system shall be accomplished under the supervision of a soils engineer, and the soils engineer shall be required to file a letter certifying that the work was done under his supervision and in accordance with his recommendations prior to the issuance of a building permit on the site.

Following satisfactory completion of the preceding corrective work it is anticipated that building permits would be permitted on the subject sites, subject to the following conditions: No building permit shall be issued prior to a finding by resolution of the City Council that the preceding work meets the requirements of this resolution.

5. Grading: Shall be kept to an absolute minimum. Fills should not be allowed; cuts should be limited to foundation areas, and supported by foundation/retaining walls designed by a soils engineer. All finished grades shall slope at least 2% in such a manner that surface water does not run over bare slopes or collect against obstructions. All grading shall be done in accordance with the recommendations of a soils engineer, and following issuance of a soils engineering report on the proposed grading.
6. Drainage: It is anticipated that underdrainage may be required on the uphill side of any obstructions. All underdrainage shall be installed with the recommendations of a soils engineer. Underdrains shall be flushed and otherwise maintained as necessary annually.

Roof, driveway, curbside and yard drainage shall be directed away from foundation areas, collected and disposed of in a reasonable manner, using paved ditches and/or drainage pipe. A civil engineering evaluation shall be made of the on- and appropriate off-site drainage from the site downstream to its connection with a public drainage system. This evaluation shall be submitted to the City Building Inspector for approval prior to issuance of a building permit for the site.

The slope area of the lots shall be planted in native, drought-tolerant landscape materials, and watered the minimum necessary to establish. Irrigation systems shall not be installed in any location on the site.

7. Foundations: Shall be required to be designed by a soils engineer.



8. **Maintenance:** Annual flushing and other maintenance as necessary of all subdrainage, including the 1958-installed system and ditches, catch basins and drainage pipes shall be required; a statement of compliance shall be required to be filed with the City Building Inspector by September 15 of each and every year.
9. **Soils Engineering:** A preliminary soils engineering report shall be prepared and reviewed by the City of all proposed grading, building, paving, drainage and landscaping of the site. All work covered in a soils report shall be required to be inspected by the soils engineer during construction. A final report shall be required from the soils engineer verifying that all work was performed under his supervision and in accordance with his recommendations.
10. **Deed restrictions:** A deed restriction shall be required to be placed and recorded on each parcel prior to issuance of the building permit for that parcel. The deed restriction shall as a minimum reiterate Items 1 through 8 above, and 12 and 13 below.
11. A hold-harmless document shall be required to be prepared and recorded providing that owners and successors in interest acknowledge in writing the repaired-slide nature of the soils condition of the site and hold the City harmless from any damage which might occur as a consequence of the issuance of a building permit, in a form to be approved by the City Attorney.
12. The erection of houses on these lots would block and interrupt views from St. Mary's Street and some of the homes along the street. Design techniques which minimize these impacts shall be required in the Design Review process. Generally, this will require driveways to slope toward the house(s), garage(s) supported by decking, with a two-story house with the lower floor smaller and both stories closely fitted to the terrain. Foundation and pier walls below the finished floors may be required to be closed in with siding material, and should be of the minimum necessary height. It may be considered appropriate to require wood siding, or predominantly wood siding, wood decks, railings, overhangs, and irregular shaped wall surfaces to minimize adverse visual impacts.
13. It may be required by the City in the Design Review process for the new home(s) that the applicant identify properties whose views might be affected by the proposed construction. Views would then be required to be mapped and sketched from the affected structures, with the proposed structure(s) superimposed. It may be required that a proposal be modified in order to preserve a greater amount of view from existing structures and/or the roadway.

The Planning Commission found that development consistent with the preceding restrictions is consistent with the General Plan in all its elements, would be safe from unreasonable geologic hazards and would result in no significant environmental impact.



C. Pertaining to Lots #47-53, Tract 2146 and Lots #69-74, Tract 2226:

Finding: Building on these sites, under any and all available mitigation measures would result in the new residents being subject to unreasonable geologic hazards due to the existing geologic conditions of the site, and that such construction would thus result in an avoidable significant adverse environmental impact. The Planning Commission found that there is an alternative policy change which if implemented, would preclude the construction of houses on the present geologically uncertain site until and unless the property owners reconstructed the site to achieve a reasonably safe geologic condition. The Planning Commission found that adoption of the following policy would require that appropriate corrective action be taken prior to construction of houses and would result in no significant adverse environmental impact due to possible future construction of the site.

The Building Official is directed not to issue building permits on the subject sites in their present conditions.

These sites may be buildable with only normal geologic risk following major corrective and reconstruction work, and subject to the following conditions:

1. Provision of an adequate and complete soils and geologic report, considering the site proposed for building along with its geologic environment, and one or more of the repaired slides as may be appropriate, acceptable to the City Engineer; and, considering the alternative of complete removal and reconstruction of sufficient portions of the filled area to insure final safety of the lot.
2. A report and plan for restorative work shall be prepared by a soils engineer and submitted to the Building Official. This report and plan shall be evaluated by the Building Official and City Engineer, and shall be submitted, with recommendations, to the City Council for a determination of adequacy.
3. Complete removal and reconstruction of filled areas, including construction of fill keys, subdrainage, compaction, and buttressing if appropriate, for the lot proposed for building and sufficient area around the lot to insure the safety of the final grading and improvements on the lot.

Following satisfactory completion of the preceding corrective work it is anticipated that building permits would be permitted on the subject sites, subject to the following conditions: No building permit shall be issued prior to a finding by resolution of the City Council that the preceding work meets the requirements of this resolution.

4. Environmental clearances from the Planning Department.



5. Execution and recordation of a hold-harmless document whereby present and future owners acknowledge the repaired slide nature of the site and hold the City harmless from any damage which might occur as a consequence of issuing the building permit, in a form acceptable to the City Attorney.

It is recognized that it may not be economically feasible to reconstruct the improperly filled area on a lot-by-lot basis. This policy may require all or most of the lot owners to join forces to address the complete reconstruction of the site. This would be the most beneficial outcome for the project area, resulting in a properly constructed site, as geologically sound and adequate as any other graded site in the City.

In addition, the following measures should be required to mitigate other potentially adverse environmental effects of construction on these site:

6. Grading: Shall be kept to an absolute minimum. Fills should not be allowed; cuts shall be limited to foundation areas and supported by foundation/retaining walls designed by a soils engineer. All finished grades shall slope at least 2% in such a manner that surface water does not run over bare slopes or collect against obstructions. All grading shall be done in accordance with the recommendations of a soils engineer, and following issuance of a soils engineering report on the proposed grading.
7. Drainage: It is anticipated that underdrainage may be required on the uphill side of any obstructions. All underdrainage shall be installed with the recommendations of a soils engineer. Underdrains shall be flushed and otherwise maintained as necessary annually.

Roof, driveway, curbside and yard drainage shall be directed away from foundation areas, collected and disposed of in a reasonable manner, using paved ditches and/or drainage pipe. A civil engineering evaluation shall be made of the on- and appropriate off-site drainage from the site downstream to its connection with a public drainage system. This evaluation shall be submitted to the City Building Inspector for approval prior to issuance of a building permit for the site.

The slope area of the lots shall be planted in native, drought-tolerant landscape materials, and watered the minimum necessary to establish. Irrigation systems shall not be installed in any location on the site.

8. Foundations: Shall be required to be designed by a soils engineer.
9. Maintenance: Annual flushing and other maintenance as necessary of all subdrainage, catch basins and drainage pipes shall be required; a statement of compliance shall be required to be filed with the City Building Inspector by September 15 of each and every year.



10. Soils Engineering: A preliminary soils engineering report shall be prepared and reviewed by the City of all proposed grading, building, paving, drainage and landscaping of the site. All work covered in a soils report shall be required to be inspected by the soils engineer during construction. A final report shall be required from the soils engineer verifying that all work was performed under his supervision and in accordance with his recommendation.
11. Deed restrictions: A deed restriction shall be required to be placed and recorded on each parcel prior to issuance of the building permit for that parcel. The deed restriction shall as a minimum reiterate Items #1 through 10 above, and 13 and 14 below.
12. A hold-harmless document shall be required to be prepared and recorded providing that owners and successors in interest acknowledge in writing the repaired-slide nature of the soils condition of the site and hold the City harmless from any damage which might occur as a consequence of the issuance of a building permit, in a form to be approved by the City Attorney.
13. The erection of houses on these lots would block and interrupt views from St. Mary's Street and some of the homes along the street. Design techniques which minimize these impacts shall be required in the Design Review process. Generally this would require driveways sloping down toward the house(s), garage(s) supported by decking, with a two-story house with the lower floor smaller and both stories closely fitted to the terrain. Foundation and pier walls below the finished floors may be required to be closed in with siding material and should be of the minimum necessary height. It may be considered appropriate to require wood siding, or predominantly wood siding, wood decks, railings, overhangs, and irregular shaped wall surfaces to minimize adverse visual impacts.
14. It may be required by the City in the Design Review process for the new home(s) that the applicant identify properties whose views might be affected by the proposed construction. Views would then be required to be mapped and sketched from the affected structures, with the proposed structure(s) superimposed. It may be required that a proposal be modified in order to preserve a greater amount of view from existing structures and/or the roadway.

The Planning Commission found that development consistent with the preceding restrictions is consistent with the General Plan, in all its elements, would be safe from unreasonable geologic hazards, and would result in no significant environmental impact.

BE IT FURTHER RESOLVED that the City Clerk is directed to record a copy of this Resolution.

- - - - -



I HEREBY CERTIFY that the foregoing is a true and correct copy of a resolution duly adopted by the City Council of the City of Martinez at a regular meeting held on the 17th day of May, 1978 by the following vote:

AYES: KRAUSE, LANCE, THELEN, TURNBAUGH, SPARACINO
NOES: NONE
ABSENT: NONE
NOT VOTING: NONE

Lawrence J. Kowalski, Deputy
Lawrence J. Kowalski, City Clerk
City of Martinez

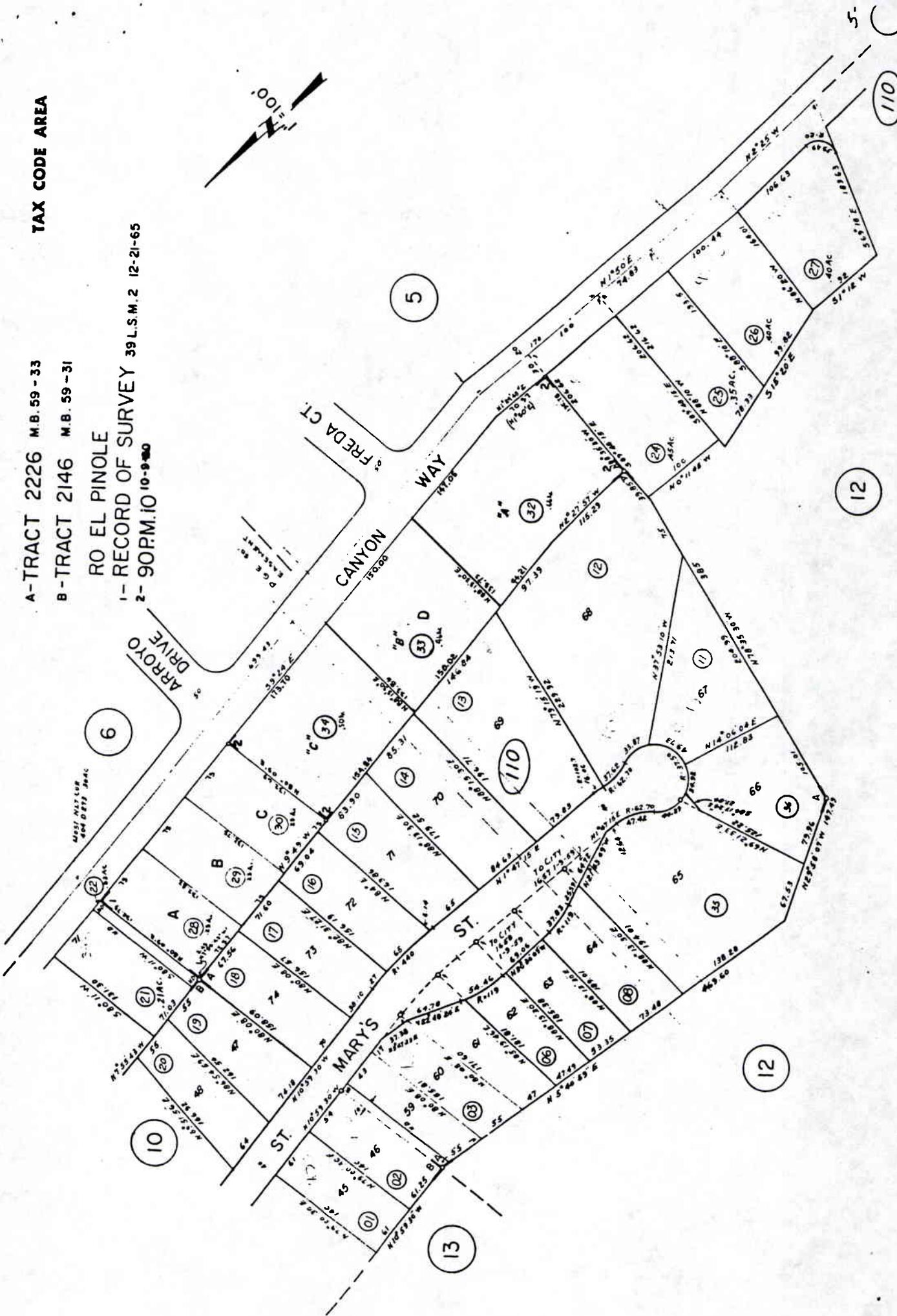


A-TRACT 2226 M.B. 59-33
B-TRACT 2146 M.B. 59-31

TAX CODE AREA

RO EL PINOLE

1- RECORD OF SURVEY 39 L.S.M. 2 12-21-65
2- 90 P.M. 10-9-80



1962 ROLL
ASSESSOR'S MAP
BOOK 370 PAGE
CONTRA COSTA COUNTY

A - TRACT 2146 (M.B. 59-31)
 B - MONTICITO PARK M.B. 22-673
 RO EL PINOLE
 1 - 123 P.M. 16 & 17 7-26-66



TAX CODE AREA

1962 ROLL
 ASSESSOR'S
 BOOK 370 I
 CONTRA COSTA CO

8-18-86
 101
 102

St. Mary's Street
owners

Lot	Sub.	Contact	Address	Phone Number
49	2146	DM Invest./Development Coordination Service	3209 View Dr., Antioch, CA 94509	925-756-6678
50	2146	DM Invest./Development Coordination Service	3209 View Dr., Antioch, CA 94509	925-756-6678
51	2146	DM Invest./Development Coordination Service	3209 View Dr., Antioch, CA 94509	925-756-6678
52	2146	Armando Vancici	218 Marina Lakes Dr., Richmond, CA 94804	510-776-1231
53	2146	Donnie Mitchum		
54	2146	Armando Vancici		
55	2146			
56	2146			
57	2146			
58	2146			
68	2226	Carlos Villava	6200 Ruthland RD., Oakland, CA 94611	415-206-6853
73	2226	Lanbank Properties LCC	POBox 191922, SF, CA 94119	
47	2146			
48	2146			
69	2226	John Mooney	1822 Whitecliff Way, Walnut Creek, CA 94596	925-932-5282
70	2226	Bedsworth Design		
71	2226			
72	2226	Mark Peters	5627 Stoneridge Dr. #314, Pleasanton, CA 94588	925-468-0115
73	2226	Carlos Villava	6200 Ruthland RD., Oakland, CA 94611	415-206-6853

St. Mary's Church Sheet

Lot	Tract	APN	Owner 1	Status House#	Status Street	Status City	Mail House	Mail Street	Mail City	Mail State	Mail Zip
49	2146	370-102-001-2	ST MARYS COURT PROPERTY L		ST MARYS	MARTINEZ	2517 INEZ	WAY	ANTIOCH	CA	94531
50	2146	370-102-002-0	ST MARYS COURT PROPERTIES		ST MARYS	MARTINEZ	2517 INEZ	WAY	ANTIOCH	CA	94531
51	2146	370-102-003-8	BENETTI STEVEN S AND VIRGINIA G		ST MARYS	MARTINEZ	2414 WARREN	RD	WALNUT CREEK	CA	94595
52	2146	370-102-004-6	BOHN CHARLES JR AND ZENaida		ST MARYS	MARTINEZ	911 VISTA DEL DIABLO		MARTINEZ	CA	94553
53	2146	370-102-005-3	DECARVALHO RENALDO		ST MARYS	MARTINEZ	13163 72ND	AVE	SEMINOLE	FL	33776
54	2146	370-102-006-1	TROY'S CONTRACTING		ST MARYS	MARTINEZ	3026 SAN BRUNO	AVE	SAN FRANCISCO	CA	94134
55	2146	370-102-007-9	HENDERSON ARTHUR DAVID		ST MARYS	MARTINEZ	588 SUTTER	ST	SAN FRANCISCO	CA	94102
56	2146	370-102-008-7	WARREN JERRY W AND MARY E		ST MARYS	MARTINEZ	3911 ST MARYS	ST	MARTINEZ	CA	94553
57	2146	370-102-033-5	WARREN JERRY W AND MARY E		ST MARYS	MARTINEZ	3911 ST MARYS	ST	MARTINEZ	CA	94553
58	2146	370-102-035-0	MARTINEZ CITY OF		ST MARYS	MARTINEZ	525 HENRIETTA	ST	MARTINEZ	CA	94553
68	2226	370-110-012-9	LEWIS JOHN AND LIESL F		ST MARYS	MARTINEZ	4091 ST MARYS	ST	MARTINEZ	CA	94565
73	2226	370-110-018-6	SALAZAR JOSE A AND MARIA V		ST MARYS	MARTINEZ	101 PARIS	DR	PITTSBURG	CA	94583
47	2146	370-110-019-4	LANBANK PROPERTIES, LLC		ST MARYS	MARTINEZ	P O BOX 191922		SAN FRANCISCO	CA	94119
48	2146	370-110-020-2	RONCHETTO TOM		ST MARYS	MARTINEZ	P O BOX 2022		SAN FRANCISCO	CA	94583
48	2226	370-110-037-6	HOFMANN ROBERT B AND LYNNE		ST MARYS	MARTINEZ	344 62ND	ST	OAKLAND	CA	94618
69	2226	370-110-038-4	BEDSWORTH O DIANE		ST MARYS	MARTINEZ	1822 WHITE CLIFF	WAY	WALNUT CREEK	CA	94596
70	2226	370-110-038-4	BEDSWORTH O DIANE		ST MARYS	MARTINEZ	1822 WHITE CLIFF	WAY	WALNUT CREEK	CA	94596
71	2226	370-110-039-2	VANDERPOOL MARK S		ST MARYS	MARTINEZ	555 GRIMSBY	LN	DANVILLE	CA	94506
72	2226	370-110-040-0	VANDERPOOL MARK S		ST MARYS	MARTINEZ	555 GRIMSBY	LN	DANVILLE	CA	94506
73	2226	370-110-041-8	PRILETO RAFAEL AND MARIA LORENA		ST MARYS	MARTINEZ	1580 3RD	AVE	WALNUT CREEK	CA	94597

*St. Mary's School
Contact List*

Lot	Sub.	Contact	Address	Phone Number	Lot	Tract
49	2146	DM Invest./Development Coordination Service	3209 View Dr., Antioch, CA 94509	925-756-6678	49	2146
50	2146	DM Invest./Development Coordination Service	3209 View Dr., Antioch, CA 94509	925-756-6678	50	2146
51	2146	DM Invest./Development Coordination Service	3209 View Dr., Antioch, CA 94509	925-756-6678	51	2146
52	2146	DM Invest./Development Coordination Service	218 Marina Lakes Dr., Richmond, CA 94804	510-776-1231	52	2146
53	2146	Armando Vancici			53	2146
54	2146				54	2146
55	2146				55	2146
56	2146				56	2146
57	2146				57	2146
58	2146				58	2146
68	2226	Carlos Villava	6200 Ruthland RD., Oakland, CA 94611	415-206-6853	68	2226
73	2226	Lanbank Properties LCC	POBox 191922, SF, CA 94119		73	2226
47	2146	RONCHETTO TOM	P O BOX 2022, San Ramon, CA. 94583	925-743-1267	47	2146
48	2146				48	2146
69	2226	Bedsworth Design	1822 Whitecliff Way, Walnut Creek, CA 94596	925-932-5282	69	2226
70	2226				70	2226
71	2226	Delta Groups Engineering, Inc.	5627 Stoneridge Dr. #314, Pleasanton, CA. 94588	925-468-0115	71	2226
72	2226				72	2226
74	2226	Carlos Villava	6200 Ruthland RD., Oakland, CA 94611	415-206-6853	74	2226