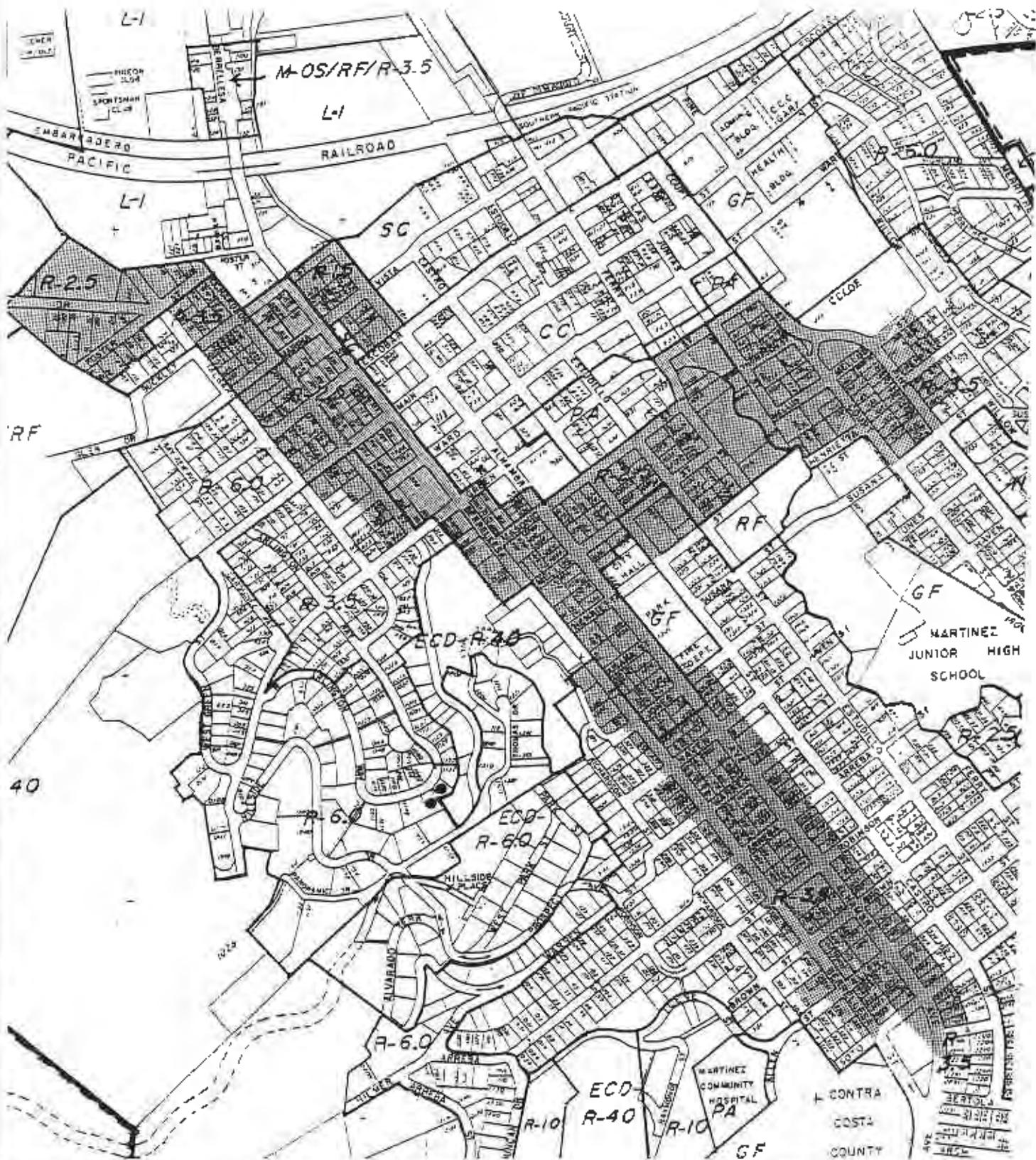


ZONING

CHAPTER 22.13

DOWNTOWN OVERLAY DISTRICT (D)



## ZONING

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#### DOWNTOWN OVERLAY DISTRICT (D)

##### 22.13.010 Purposes.

In addition to the purposes prescribed in Sections 22.02.010, 22.12.020 and 22.12.320 of this title, the D Overlay District (Exhibit "All) is included in the zoning regulations to achieve the following purposes:

- A. To recognize the existing higher density development of detached and attached units, duplexes, triplexes and multifamily units on lots generally ranging from 4,000 to 6,000 square feet in some areas of the downtown residential district and that single family development in these areas may be inappropriate;
- B. To provide a transition between these higher density developments and adjacent single family residences;
- C. To promote the stability and viability of existing residential neighborhoods in the downtown area and maintain the small town, character and historic setting of Downtown Martinez;
- D. To encourage future infill development of vacant and under-utilized land that reinforces existing architectural styles and at a density to support higher quality development;
- E. To encourage the renovation and rehabilitation of existing housing that will enhance the existing downtown neighborhoods;
- F. To encourage the consolidation of lots to provide flexibility and innovative design solutions that improve the use of space to accommodate a variety of dwelling options near the downtown commercial district. (Ord. 1230 C.S. § 1; 1996)

##### 22.13.020 Permitted Uses.

The permitted uses in the D district shall be the permitted uses of each individual residential zone district which has been combined with the overlay Zone. (Ord. 1230 C.S. § 1; 1996)

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### 22.13.030 Conditional Uses.

The conditional uses in the D district shall be the conditional uses of each individual residential zone district which has been combined with the overlay zone. In addition, with a use permit, the following increases in density from the individual residential zone or exceptions from the zoning requirements may be permitted:

- A. Properties may be developed to meet the R-1.5 density standards in the R-2.5 District and the R-2.5 density standards in the R-3.5 district;
- B. Properties
  - 1. adjoining, on one or both sides, parcels with existing multiple family residential structures; or
  - 2. with multiple family residential structures across the street for more than one half of the entire block frontage;may be developed as multi-family projects at the average density (rounded off to the nearest whole unit) of the two adjoining properties or the average density (rounded off to the nearest whole unit) of the properties across the street and adjoining properties together, whichever is greater.
- C. A front yard setback of 10 feet may be permitted for the main structure, if the Planning Commission can make the finding that it would be consistent with and not detrimental to the existing development in the neighborhood.
- D. A minimum of one covered parking space per unit may be approved with a use permit, if the Planning Commission can make the findings that:
  - 1. One parking space per unit would be sufficient for the proposed development;
  - 2. There would be sufficient overflow street parking; and
  - 3. Reducing the parking standards would not be detrimental to the neighborhood.

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The Planning Commission shall make the following additional findings in granting a use permit under this section:

1. That the residential development will complement and be compatible with the existing residential community and reflect the historic ambiance of the downtown residential district;
2. That the architecture, landscaping and site plan of the residential development will result in a significantly better environment than otherwise would have occurred under the existing zone district requirements. (Ord. 1230 C.S. § 1; 1996)

### 22.13.040 Distances Between Structures; Minimum Site Area; Frontage, Width and Depth of Site; Usable Open Space.

The required distances between structures, minimum site area, frontage, width and depth of the site, usable open space shall be those of the R Residential zone with which the D overlay district is combined, namely those specified in Section 22.12.100, 22.12.110, 22.12.190, 22.12.230, 22.33.050, 22.12.250 stat. (Ord. 1230 C.S. § 1; 1996; Ord. 1247 C.S. § 1, 1997.)

### 22.13.050 Site Area Per Dwelling Unit.

With a use permit, the following increases in density of the individual residential zone district specified below with which the D Overlay District is combined may be permitted:

<u>District</u>	<u>Minimum Site Area Per Dwelling Unit</u>
R-1.5	1250 square feet
R-2.5	1500 square feet
R-3.5	2500 square feet

Averaging the Number of Allowed Units - a fraction of a unit shall be rounded up so it equals one unit. (Ord. 1247 C.S. § 1, 1997.)

### 22.13.060 Maximum Site Area Coverage.

The maximum site area covered by structures shall be 45%. (Ord. 1230 C.S. § 1; 1996)

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### 22.13.070 Front Yards.

- A. The minimum front yard shall be the average of the two sides adjoining properties to a maximum required of 20 feet except, as permitted with a use permit (see 22.13.030 C.).
- B. The minimum distance between a garage door (a roll-up door required) and the sidewalk shall be 15 feet or the average of the existing garages adjacent to the property. A carport may be 10 feet behind the sidewalk.
- C. Exceptions:
  - 1. All exceptions noted in Section 22.12.220 (Ord. 1230 C.S. § 1; 1996)

### 22.13.080 Side Yards.

The minimum side yard shall be 5 feet for a one-story structure up to 12 feet high, 10 feet for a two-story structure and onestory structure over 12 feet high. On a corner lot, the minimum street side yard setback shall be 10 feet.(Ord. 1230 C.S. § 1; 1996)

### 22.13.090 Rear Yards.

The minimum rear yard shall be 15 feet subject to the following exception:

Rear yard areas may be averaged on a single site to obtain the required 15-foot rear yard; not more than fifty percent (50%) of the width of the structure may extend closer than 15 feet to the rear property line, nor shall any portion of the structure extend closer than 10 feet to the rear property line.(Ord. 1230 C.S. § 1; 1996)

### 22.13.100 Height of Structures.

The maximum height of structures shall be the average height of buildings on adjacent properties or two stories (maximum of 25 feet, whichever is higher) above the 100-year flood plain except in the R-1.5 and R-2.5 districts and for development under the R2.5 standards where two stories over concealed parking (maximum of 30 feet) shall be permitted.(Ord. 1230 C.S. § 1; 1996)

## DESIGN GUIDELINES - DOWNTOWN RESIDENTIAL OVERLAY DISTRICT

The district is established to allow for higher density development in the downtown than would be permitted under the existing zoning. These guidelines will be used for all projects developed under the Downtown Residential Overlay District (DROD) to encourage infill development of underdeveloped land and rehabilitation of existing properties.

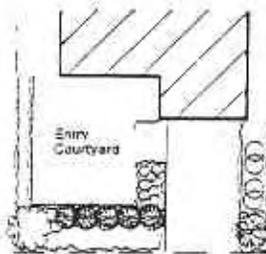
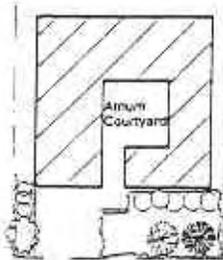
The guidelines are to enhance the existing small town, historical setting of the downtown and to encourage traditional, authentic design that reinforces existing architectural styles.

Each project shall enhance the character of the existing residential neighborhood with compatible style, scale, building materials and colors and preserve the historical, residential ambiance prevalent in downtown Martinez.

Site Design - Design street fronting yards to enhance neighborhood appearance and character and highlight the pedestrian entry.

### A. Driveways and Entry Approaches

1. Maintain front yards as a landscape buffer and setback.
2. Use decorative paving such as brick, concrete pavers, tile or other textured or decorative surfaces for walkways, courtyards and driveways. Avoid expanses of concrete or asphalt paving. Turf block or concrete strips with grass or groundcover inserts are other options.
3. Create a transition from the street to building interior with entry courtyards, gardens or porches.

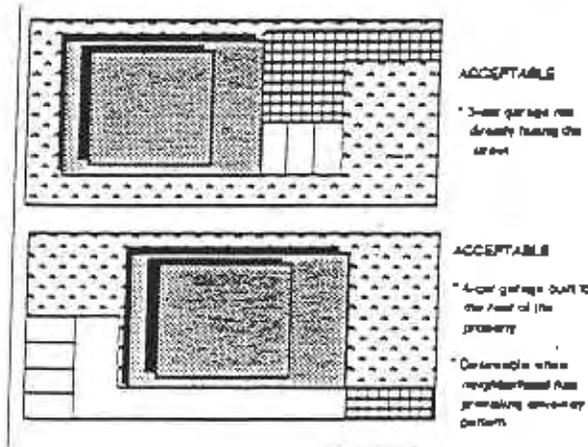


4. Highlight building entries with plant materials, stepped terraces, porches, colonnades, and other details typical of the architectural style.

5. Locate entry doors and porches so they can be seen from the street. Avoid locating front doors back from the street along the side of the building.
6. Consider the safety and security as well as the visual characteristics of the pedestrian entry.

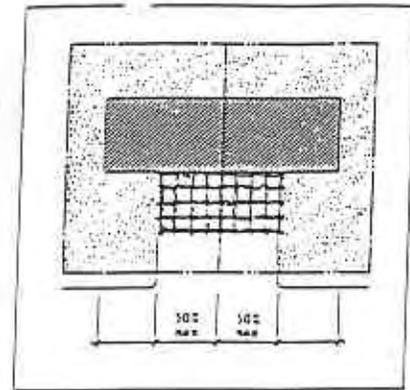
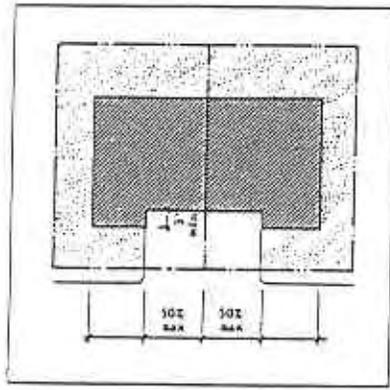
B. Parking and Parking Courts

1. Parking must be integrated into the project.
2. Wide driveways, open parking areas and three car garages that dominate the front portion of the site are not appropriate.
3. Where possible, locate garages and parking areas at the side or rear of the property away from public view.



4. Use pairs of single car garage doors, recessed garage doors and other architectural or landscape features, such as a berm, a vine trellis or arbor to diminish the scale and enhance the appearance of all garages.





C. Outdoor Spaces

1. Provide outdoor living areas such as porches, patios, decks or terraces for each unit.
2. Outdoor spaces shall be an integral part of the overall design.
3. Consider the impact of outdoor living space on adjacent properties.

D. Plant Selection

1. Consult planning staff regarding drought-tolerant street tree selection and placement in your neighborhood and on your street. Plant street trees in root barriers.
2. Use a variety of small and large trees and shrubs, trellises and vines, arbors, garden planter boxes and other plants to soften building masses and divide paved areas, courtyards and other exterior spaces.
3. Select plants which will be of an appropriate scale in proportion to the building at maturity. Usually, the closer the building is to the street the larger scale the plant material should be.
4. Consider the landscape design which would have been used traditionally with the architectural period when developing the landscape plan and selecting plants.

E. Walls and Fences

1. Design fences, garden walls, arbors, entry gates, refuse collection areas, etc. to be compatible with the architectural style and site/landscape theme.

Building Design - Locate the house on the property to reinforce and enhance the neighborhood development pattern. In general, minor variations in location and orientation will complement adjacent houses and give variety to the neighborhood. Major variations tend to make a house "stand out" from other houses and be visually disruptive to the neighborhood.

Attached are five information sheets and drawings of representative styles existing in Martinez. They are examples only to give a sense of direction that the City would like to see taken Downtown. You will not be limited to these examples but be expected to design to their level of detailing.

**A. Architectural Composition**

1. Compose each project so the forms are well related to one another and to the site in proportion, scale, geometry and style. Consider the buildings form and exterior appearance as well as functional requirements.
2. Use an architectural style which reflects the historical character of the neighborhood. Carry the architectural scheme throughout the building.

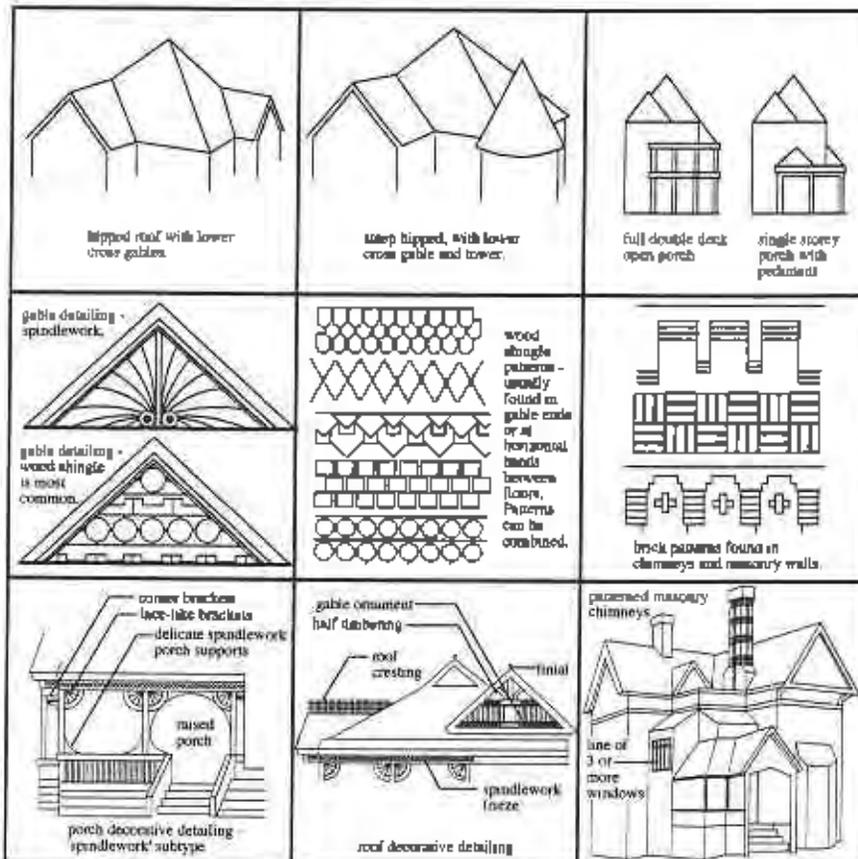
**B. Detailing and Materials**

1. Use details and materials that are consistent with the particular architectural style.
2. Minimize roof penetration. Paint all ducts, vents, pipes, etc. to match the adjacent surface.
3. Consider carefully the location, pattern (grouping and spacing), shape and size of doors and windows. Incorporate them into the elevation as well as placing them to fit the floor plan. Relate window placement and design to the architectural style.

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## QUEEN ANNE STYLE

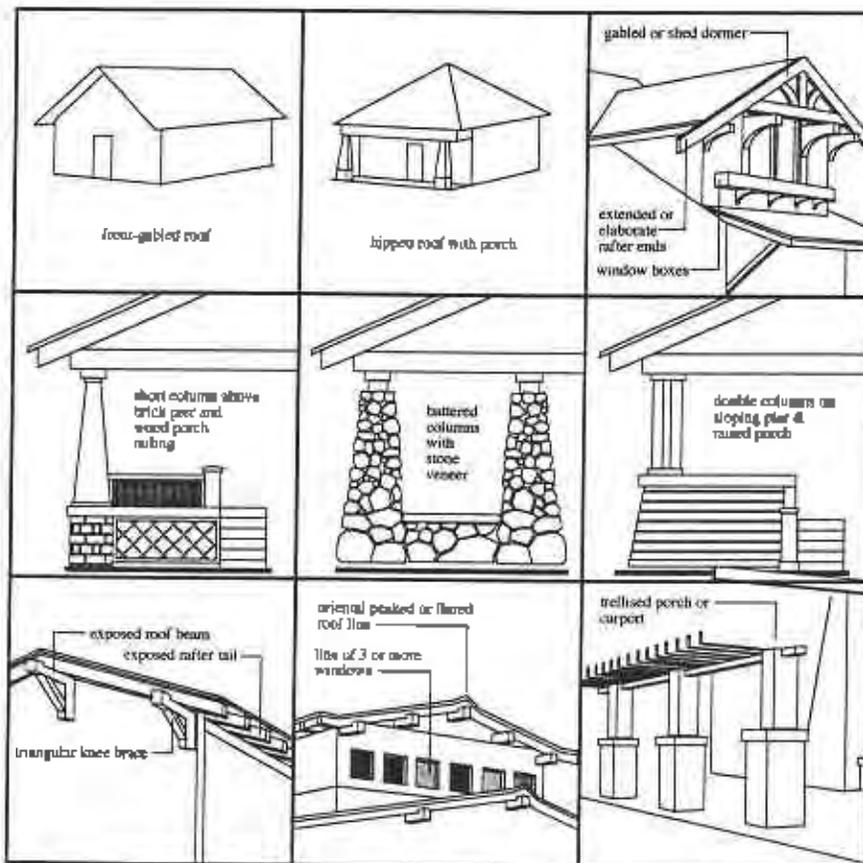


This style was named by 19th century English architects, with examples of American adaptations flourishing from 1880 to 1900. The Queen Anne style dominated domestic architecture, occasionally in the Northeast U.S. and more commonly in the west and south. California has some of the best examples.

**FEATURES:** Queen Anne houses are characterized by shape and decorative detailing. Roof pitches are generally steeper and more complex, with secondary gables and dormers added to the basic roof. Decorative detailing includes spindlework, patterned masonry, classical columns, and various wall-texturing techniques. First-storey porches are a common feature and include the front door, wrapping around the front to one or both side elevations. Towers are a unique addition to the main structure, typically round or polygonal and are placed at the front corners. Wall textures are achieved with the use of wood shingles, terra cotta or patterned brick courses.



## CRAFTSMAN STYLE



This was the dominant style for smaller houses built throughout the country from 1905 to the 1920's. Craftsman houses were inspired by the work of Greene & Greene, who originated the style in Southern California between 1893 and 1914. Also known as the Bungalow or Western Stick style, the Craftsman was similar to the Prairie Style. The one-story Craftsman became the most popular house in the Country at the time.

**FEATURES:** Low-pitched gabled or hipped roof with wide, open eave overhangs with exposed rafters; decorative beams and braces added under eaves; porches with roof supported by tapered square columns, with or without piers or pedestal; occasionally with balustrade to enclose porch. Dormers are common. Siding materials included an abundance of wood clapboard or shingle, and stucco, with stone and brick accents.